COUNCILLORS

ATTACHMENT

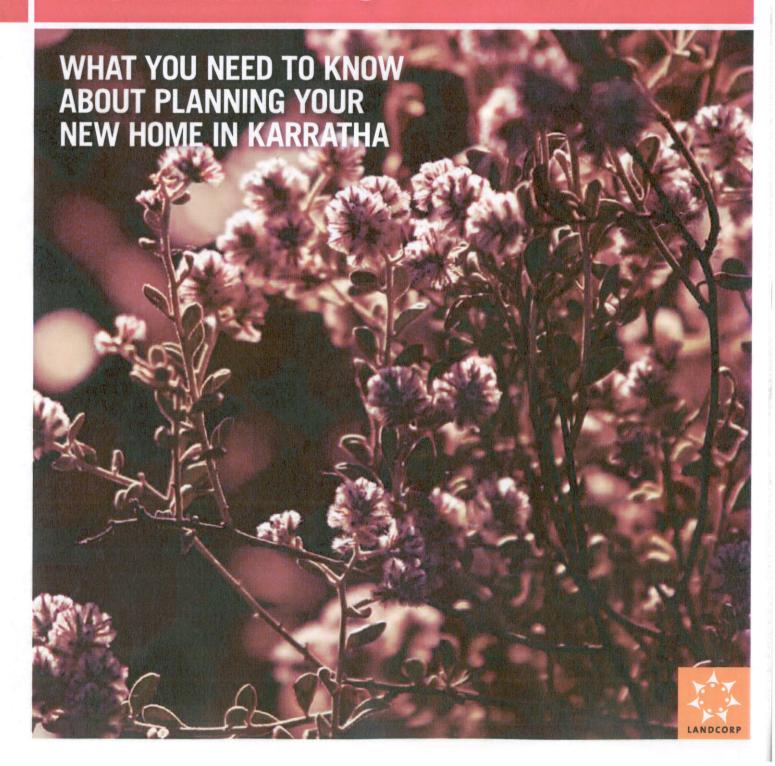
8.1.2 Baynton West Release of Land

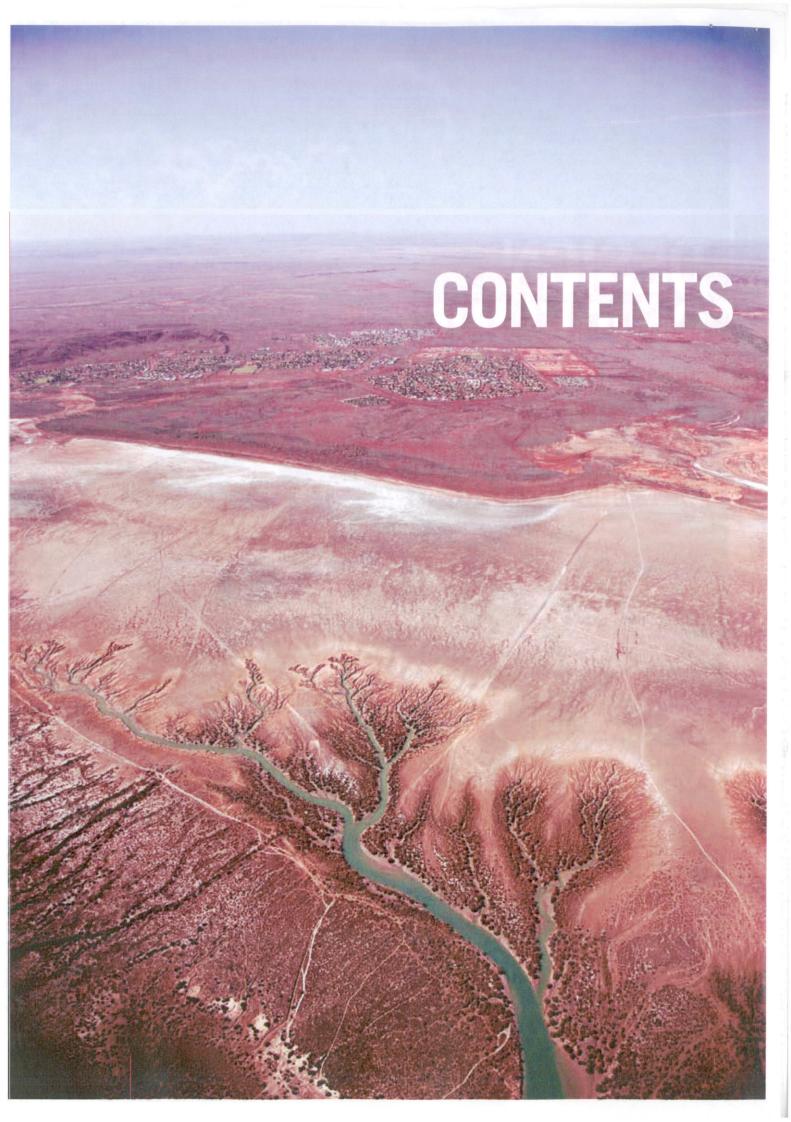
Design Guidelines - Baynton West

Ordinary Council Meeting Monday 21 September 2009



DESIGN GUIDELINES





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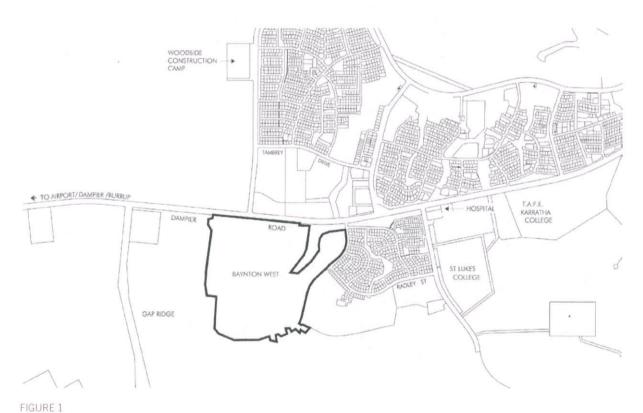
1. INTRODUCTION

These Design Guidelines apply to all single residential lots, being both standard and cottage lot product, within LandCorp's 'Baynton West' development in Karratha and are designed to facilitate a high standard of sustainable housing and high quality aesthetics within the residential estate.

The 'Baynton West' subject area, located to the south of Dampier Road and west of Baynton Drive is illustrated in Figure 1 below.

The Guidelines (including the Baynton West Cottage Lots Detailed Area Plans) should be read in conjunction with the Shire of Roebourne Town Planning Scheme No. 8 and Local Laws and Policies, the Residential Design Codes of Western Australia (the R-Codes), the Building Code of Australia (BCA) and other statutory requirements.

The 'Mandatory Criteria' of the Design Guidelines must be met in the design for all residential development proposals. The 'Design Recommendations' specify design and construction recommendations to create a more sustainable housing design and aid in achieving the objectives of the Design Guidelines, but are not mandatory.



THE DESIGN GUIDELINES WILL HELP YOU AND YOUR CHOSEN ARCHITECT OR BUILDER TO DESIGN, CONSTRUCT AND FIT-OUT YOUR HOME AND GARDEN SO THAT IT HAS LESS IMPACT ON THE ENVIRONMENT, IS MORE LIVEABLE, PROTECTS YOUR INVESTMENT AND WILL SAVE YOU MONEY IN THE LONGER TERM.

2. BENEFITS OF THE DESIGN GUIDELINES

These guidelines have been carefully considered for many reasons. One of which is to ensure the region's sustainability for generations to come. By employing initiatives such as water conservation and energy efficiency, your home will have less impact on the environment. Plus, it will help you save money in the long run.

Your home will also be designed with the Pilbara climate in mind. This will allow your home to maximise cooling summer breezes and shading, encourage natural air circulation, and make sure your living environment is as comfortable as possible.

3. RELATIONSHIP TO LOCAL GOVERNMENT PLANNING

The Shire of Roebourne has Town Planning jurisdiction over the site through Town Planning Scheme No. 8, which is the operative planning instrument. As always, buyers should make themselves familiar with the Scheme requirements. In most cases, town planning approval will not be required for single residential buildings but may be for transportable or relocatable houses.

The Building Codes of Australia (BCA) also continue to apply to all new buildings and an application for building licence is required for all houses.

Variations to the 'Acceptable Development' provisions contained in the R-Codes are subject to separate Council approval. In such cases, an Application for Single House/ Outbuildings Codes Variation form (refer www.roebourne.wa.gov.au) must be submitted with your application for building licence. A written submission demonstrating how the corresponding Performance Criterion has been met, is irrelevant or cannot be met must be stated on the form.

Purchasers of land in the Baynton West subdivision are strongly encouraged to seek the Shire of Roebourne's in-principle agreement to any R-Codes variation before submitting plans to LandCorp's architect. Failure to do this may result in additional costs associated with preparation and lodgement of amended plans.

4. SUBMITTING YOUR APPLICATION

To ensure that applications can be fully assessed, it is essential that the following information be submitted with each Application for Design Guidelines Approval:

- Site plan indicating:
 - The proposed levels and other significant site features such as street poles and pit lids;
 - The location of vehicle parking/storage;
 - The location and design of all proposed buildings, access

- driveways, paths, walls, screens, fences, all roofed areas, outdoor cooking facilities, outbuildings, clothes drying facilities and all mechanical equipment.
- Landscape plan depicting any proposed landscaping for the allotment including tree, shrub, groundcover and lawn species, and reticulation systems.
- ➤ Floor plans for all buildings including the location of ceiling fans, window and door opening (including use of any louvres), extent of eaves, and outdoor living areas.
- Elevations for all buildings detailing the external materials, finishes and colours. The elevations are to be accurately related to existing and finished ground levels.
- Sections through all buildings showing intended construction details including ceiling heights, insulation and sisalation within roof/ceiling and walls where applicable.
- Specifications of plumbing fixtures and fittings or statement of compliance with the noted criteria.
- An Electrical Plan detailing the selected hot water system including manual switch, ceiling fan locations, installed electrical appliances and any installed external lighting systems.
- > Fencing plans including the materials, finishes and colours.

5. THE APPROVAL PROCESS

To assist in helping your project to comply with the Mandatory Requirements, it is recommended that you submit your preliminary concept design to LandCorp's architect as soon as possible.

Before applying for a Building Licence (or Planning Approval if required) or undertaking any development on the land, an owner or their architect or builder, must submit to LandCorp:

- an Application for Design Guidelines Approval; and
- 2 full hard copy sets of all appropriate drawings as outlined in the Application Form.

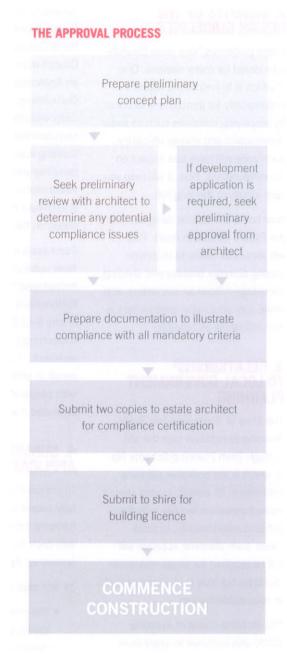
Should LandCorp consider that the plans do NOT substantially achieve any one of the Mandatory Design Criteria, they will be returned with a request to amend the plans or provide additional justification for the variation, possibly at an additional cost.

Should LandCorp deem the plans to substantially achieve ALL the Mandatory Design Criteria or be satisfied with any justified variation, the plans will then be endorsed and one full set returned so that the endorsed plans can then be lodged with Council as part of the planning and/or building application.

Landowners and/or builders are encouraged to take advantage of a free one hour design advice session from LandCorp's appointed architects.

The completed Application for Design Guidelines Approval and Design Guidelines Checklist and associated plans and accompanying information are then to be submitted to LandCorp's appointed architect Details can be found on http://www.landcorp.com.au or by calling the Baynton West project manager on 9482 7499.

Notwithstanding the approval process outlined in the preceding paragraphs, purchasers or their chosen builder or architect should ensure that any proposed variations to the R-Codes or other town planning scheme requirements are acceptable inprinciple to the Shire of Roebourne. This will reduce the likelihood of incurring additional costs as a result of having to amend plans as part of the Shire's subsequent approval process



6. THE CLIMATE

Baynton West experiences hot summers with occasional cyclonic storms and mild winters with limited rainfall. Cooling breezes in the summer west season generally come from the west and northwest. During the winter dry season, breezes generally come from the east in the morning and north-east in the afternoons. Baynton West is also located north of the Tropic of Capricorn where sunlight is directed from the north in winter and from the south for a portion of the day in the middle of summer.

These unique and often harsh environmental conditions have influenced the Mandatory Criteria so as to result in a house design that responds best to seasonal variations in solar movements, seasonal temperatures and rainfall patterns, particularly in terms of:

- maximising any cooling benefit from the summer breezes;
- encouraging natural air circulation through and around the house;
- maximising shading in summer;
- > reducing water usage on the garden; and,
- maximising a comfortable living environment whilst minimising energy use.

THESE UNIQUE AND OFTEN HARSH ENVIRONMENTAL CONDITIONS HAVE INFLUENCED THE MANDATORY CRITERIA SO AS TO RESULT IN A HOUSE DESIGN THAT RESPONDS BEST TO SEASONAL VARIATIONS IN SOLAR MOVEMENTS, SEASONAL TEMPERATURES AND RAINFALL PATTERNS.



Example of good shading with overhangs and eaves (image courteusy of Rural Building Co) See 7.1.6, 7.1.7

7. THE DESIGN GUIDELINES

The Design Guidelines are structured in a two-tier format, 'Mandatory Criteria' and 'Design Recommendations'. All Mandatory Criteria must be complied with, while the Design Recommendations are non-mandatory but are encouraged as, when implemented, they will improve the overall thermal performance and comfort of your home whilst reducing energy use costs.

Figure 3 below illustrates some of the site considerations, recommendations and criteria you or your builder/ architect should have regard to in preparing or selecting a house design in accordance with the Design Guidelines as is listed in more detail in the following sections.

SUSTAINABLE DESIGN

Some of the criteria includes:

Mandatory:

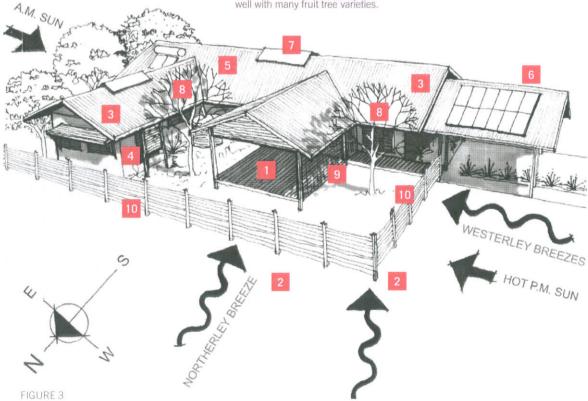
- 1 Covered outdoor living area (see 7.1.1);
- 2 Orientation to breezes coming from the south-west to north-east (see 7.1.2);
- 3 Minimum 800mm (see 7.1.6);
- 4 Roof pitch between 15 degrees and 42 degrees (see 7.5.2);
- 5 Carport provided with same materials as house (see 7.3.3);

Recommended:

- 6 Shading to east and west windows (see 7.1.10);
- 7 Consider using roof ventilation to all roof space (see 7.1.9);
- 8 Consider using mature landscaping and deciduous trees to shade the house (see 7.1.20);
- 9 Provide shading to west side of outdoor living (see 7.2.8);
- Provide open slat fencing to allow breezes to penetrate through house (see 7.4.4).

This illustration also demonstrates:

- · 'L' shaped house helps to 'trap' breezes into house.
- · Carport located to provide shape to Western elevation.
- · Gable roofs used to help catch higher level breezes.
- Open louvre shading used to gable roof, shading device and awnings to provide good shade and maintain breeze access.
- · Ridge ventilation helps to release hot air from roof space and cool down house.
- Open slat fencing used to improve ventilation to the house and yard and increase visual surveillance of the street.
- Deciduous trees provided to north elevation allow summer shade and winter sun.
 Evergreen trees shown to east and also appropriate to west elevations.
- . Shade to outdoor living area from Western sun is highly desirable.
- Timber decks and landscaping adjoining the house helps to reduce heat gain as opposed to concrete and pavers that absorb heat.
- Consider appropriate technology to help with reducing reliance on external resources including rain water tanks, photo voltaic power systems and greywater recycling.
- Photovoltaic's should be on a north facing roof and full sun with no/minimal shade.
- Food production within the yard should be considered. Greywater systems can work well with many fruit tree varieties.



7.1 ORIENTATION, VENTILATION AND SHADING

This section outlines climate responsive design and construction principles to minimise energy use by thoughtfully orientating and designing the home.

The objective of these criteria being to encourage protection from the hot sun through shading, particularly of glazed areas and walls, and also to utilise natural ventilation by capturing any cooling breezes. Ultimately this will assist in maximising the enjoyment of the Karratha lifestyle and climate.

	MANDATORY CRITERIA	COMPLIANCE CHECKLIST
7.1.1	Homes must have a shaded habitable outdoor space adjacent to the main living area with a minimum dimension of 2.6m and a minimum area of 20m² located in a position to take advantage of access to breezes coming from the south-west to north-east.	
7.1.2	Homes must be orientated to access predominantly westerly, north-westerly or northerly summer breezes	
7.1.3	Homes must provide a minimum of one ceiling fan to all habitable rooms, including outdoor living areas.	
7.1.4	Adequate breeze paths must be provided to all habitable rooms to allow for natural ventilation.	
7.1.5	Open plan living areas must ensure adequate cross-ventilation to each functional area.	
7.1.6	North, west and east facing walls must have a minimum of 800mm eaves to all rooms.	
7.1.7	South facing walls must have a minimum of 800mm eaves to habitable rooms (excludes bathroom, laundry, toilet).	
7.1.8	Where thermal mass such as concrete block, cavity brick and brick veneer to external walls is used, it must be demonstrated that 80% shading is achieved at 12.00 noon on the summer solstice.	
7.1.9	Two external openings to each habitable room are to be provided, where the room has two external walls, to maximise breeze path and ventilation.	
	DESIGN RECOMMENDATIONS	
7.1.10	All east and west windows are to be shaded (e.g. exterior blinds, awnings, louvers) or approved alternative suitable to cyclonic conditions; or have a minimum sill height of 1.5m above floor level.	
7.1.11	Provision for outdoor cooking is encouraged.	
7.1.12	Minimise wall surface area and glazing to all east and west facing walls whilst maximising shading.	
7.1.13	Consider location of principal living areas within your home in respect to prevailing westerly, north-westerly and northerly summer breezes.	
7.1.14	Allow for separation from adjoining houses and outbuildings to allow for adequate breeze access between buildings.	
7.1.15	Consider narrower house floor plan designs to assist with breeze path access and cross ventilation.	
7.1.16	Consider internal openable windows, correct positioning of doors or internal louvered walls/ screens to facilitate cross ventilation.	
7.1.17	Consider window types and window location for more effective opening, i.e. reduce glazing area while retaining ventilation opening.	
7.1.18	Locate non-habitable rooms in any breeze blocked areas.	
7.1.19	Roof ventilation to all roof spaces is recommended: e.g. vented gables, 'E' vent or similar appropriate type alternative to suit cyclonic category for Karratha.	
7.1.20	Consider using mature landscaping to shade the house, external paving and outdoor living areas.	
7.1.21	Maximise openings to habitable rooms adjoining or overlooking the public domain, including secondary streets, public open space and drainage reserves to encourage passive surveillance and safer streets.	

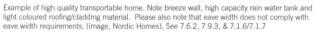
7.2 LANDSCAPE MANAGEMENT

This section identifies landscape design elements that reduce maintenance and water consumption with respect given to the Karratha climate, in an attempt to contribute to water conservation.

Implementation of the following also has the added advantage of improving access to cooling breezes as well as encouraging shading of the house and outdoor living areas to assist in the enjoyment of your home without excess reliance on energy use.

7.2.1 Front street trees provided as part of LandCorp's landscape rebate package (see section 8 for details) to be planted and maintained in the front building setback area. 7.2.2 Consider "waterwise" plant species that are best suited to the climate and soil conditions of the West Pilbara (refer to the recommended species list at Appendix 1). 7.2.3 Consider how to maximise permeable surfaces in order to reduce stormwater runoff. 7.2.4 If planting lawn, keep it to a minimum and select "waterwise" varieties best suited to the climate and soil conditions of the West Pilbara. 7.2.5 Consider installation of "waterwise" reticulation such as low flow drippers and coarse drop sprayers. 7.2.6 Controlled irrigation such as programmable controllers or tap timers with rain sensors for all reticulation systems is encouraged. 7.2.7 Corner lots are encouraged to provide landscaping to secondary street frontages. 7.2.8 Consider planting of vegetation to maximise shading to walls, windows and outdoor living areas with a high canopy and clear mid storey to maintain breeze access.







Rainwater tanks are encouraged to reduce reliance on external

7.3 SETBACKS, GARAGING AND ACCESS

The table below identifies design criteria and requirements for all homes and associated structures, such as carports, boatports and garages, to assist in the achievement of a high quality of residential design and streetscape. The general objective being to assist in achieving the abovementioned sustainable house designs whilst ensuring that houses and their associated vehicle storage relate well to the surrounding neighbourhood and create safe streets.

	MANDATORY CRITERIA	COMPLIANCE CHECKLIST
7.3.1	A double carport or garage shall be provided for each house.	
7.3.2	Garages and carports on R10 or R17.5 coded lots must be set back a minimum of 6 metres from the primary street boundary and be located not forward of the front building line of the house. Open sided carports and boatports may be set back a minimum of 1.5 metres from the primary street, where they are provided so that cars are parked parallel with the street and appropriate landscaping is provided between the front boundary and the structure.	
7.3.3	Where visible from a street, garages, carports and boatports must be constructed of the same or complementary materials, finishes, colours and roof types as the main dwelling.	
7.3.4	No part of a building shall be permitted within 3m of a primary street setback, excluding minor projections such as eaves.	
7.3.5	For R30 coded 'Cottage lots', the location and setback of garages, carports and boat parking shall be provided via the rear-access laneway in accordance with the relevant Detailed Area Plan at Appendix 2.	
	DESIGN RECOMMENDATIONS	
7.3.6	Ancillary vehicle parking/storage forward of the front building line is discouraged.	
7.3.7	For all R10 and R17.5 coded lots, the side wall/post of garages and carports should be setback a minimum of 3m from the side boundary or secondary street frontage to provide for ancillary parking/boat storage.	
7.3.8	Walls built to the side boundary are discouraged as it reduces breeze circulation.	
7.3.9	In locating driveway access and crossovers in accordance with Council specifications, consideration is to be given to existing street signs, lighting and traffic control devices to avoid conflict in location.	

7.4 FENCING

This section aims to achieve a fencing approach which assists with the achievement of a high quality of residential design and streetscape to protect your investment and the estate. In doing so, it is also the intention to maximise surveillance of parks, footpaths, schools and drains to reduce the opportunity for crime and to avoid restricting air flow to the home and outdoor living areas.

	MANDATORY CRITERIA	COMPLIANCE CHECKLIST
7.4.1	Fencing must be designed and constructed in accordance with the Shire of Roebourne 'Residential Frontage' policy with the exception that any fencing forward of the front building setback is to be visually permeable above a height of 1.2m.	
7.4.2	Fencing abutting the secondary street or drainage reserve as provided by LandCorp is not to be modified without approval.	
7.4.3	All dividing fences are to be constructed to LandCorp's specification.	
	DESIGN RECOMMENDATIONS	
7.4.4	Fencing of a permeable/open design is encouraged to facilitate airflow.	
7.4.5	Fencing forward of the front building line is discouraged.	

7.5 BUILDING AND ROOF FORM

The following identifies some specific issues for the design of homes to assist in achieving a diversity of climate responsive and high quality residences and streetscapes in an attempt to protect your investment, achieve sustainable design and improve the amenity of Karratha.

	MANDATORY CRITERIA	COMPLIANCE CHECKLIST
7.5.1	Ceilings to all habitable rooms are to be a minimum of 2.7m high. Pitching plates may be reduced to 2.5m above floor level but the ceiling must achieve a minimum 2.7m ceiling height within 750mm of the external wall.	
7.5.2	Conventional gable or hipped roof forms must not be less than 15 degrees pitch or greater than 42 degrees pitch to main roof structures. For other roof types, a minimum pitch of 8 degrees applies.	
7.5.3	Transportable, recycled and kit homes shall exhibit a level of detail and standard of finishes to minimise the differentiation between them and site built homes and to maintain the quality of the estate.	
	DESIGN RECOMMENDATIONS	
7.5.4	Any skillion roofs are required to provide greater insulation standards and additional ventilation to compensate for reduced energy efficiency.	
7.5.5	Clearly expressed front entries should be provided.	
7.5.6	Varied external materials, colours and textures are encouraged to maintain variety and interest in the streetscape.	
7.5.7	Verandahs, articulation and use of projections are encouraged to create variety and interest in the built form and assist with shading.	

7.6 COLOURS AND MATERIALS

This section identifies colours and materials to help limit high energy consumption in the home by reducing heat gain through appropriate building materials.

When implemented correctly, ongoing energy costs will be reduced and the comfort of occupants of the home will be improved.

	MANDATORY CRITERIA	COMPLIANCE CHECKLIST
7.6.1	Bright or dark heat absorbing roof sheeting colours with a solar absorbency rating greater than 0.55, as classified by the BCA, are prohibited (refer to www.colorbond.com for list of suggested colour range).	
	DESIGN RECOMMENDATIONS	
7.6.2	Very Light coloured roofing materials with a solar absorbency of less than 0.35, as classified in the BCA, is encouraged (refer to www.colorbond.com for list of suggested colour range).	
7.6.3	Tinted glazing to external doors and windows is encouraged.	
7.6.4	An alternative to glazing to lower parts of full height windows is encouraged, while maintaining ventilation openings.	
7.6.5	Structural timbers are encouraged to be Certified Plantation Timbers only.	
7.6.6	The use of low emission surface coatings is encouraged.	
7.6.7	The use of prefabricated components is encouraged.	
7.6.8	Recycled construction materials are encouraged where appropriate.	
7.6.9	Use of cavity brick and standard brick veneer to external walls is discouraged. Instead, well designed reverse veneer can be considered.	

7.7 THERMAL EFFICIENCY

This section identifies strategies complementary to the other mandatory criteria to help limit high energy consumption in the home by reducing heat gain through the use of appropriate insulation and sisalation, ultimately assisting in reducing energy costs and improving the comfort of occupants of the home.

	MANDATORY CRITERIA	COMPLIANCE CHECKLIST
7.7.1	Use a combination of roof and ceiling insulation to provide a minimum thermal resistance of R4.2 for heat flow in a downward direction.	
7.7.2	Provide a minimum thermal resistance of 2.3 to all external walls.	
	DESIGN RECOMMENDATIONS	
7.7.3	Double-sided foil sisalation or similar insulation product to roofs and external walls is recommended.	
7.7.4	Insulation with noise attenuation properties is encouraged for roofing and walls abutting external air-conditioning units.	

7.8 ENERGY USE

This section identifies strategies, in addition to the implementation of the shading, orientation and thermal efficiency recommendations above, to help limit high energy consumption in the home by requiring or recommending more appropriate appliances and air-conditioners. When implemented correctly, ongoing energy costs will be reduced.

	MANDATORY CRITERIA	COMPLIANCE CHECKLIST
7.8.1	All homes must incorporate energy efficiency and hot water use efficiency measures of the BCA Five Star Plus Water Use in Houses Code.	
7.8.2	Where air conditioning is installed inverter split systems or high efficiency ducted systems are mandatory.	
7.8.3	Sound levels of external air conditioning units measured at each unit must be a maximum of 55dBA in accordance with manufacturers' specifications.	
	DESIGN RECOMMENDATIONS	
7.8.4	High energy efficient lighting and appliances with timer controls as relevant are recommended.	
7.8.5	Consider the installation of photovoltaic or renewable energy systems.	
7.8.6	Hot water systems should be positioned as close as possible to the area of most use.	

7.9 WATER MANAGEMENT

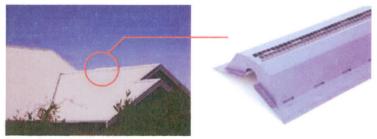
The objective of the following water conservation strategies relating to the home and garden is to assist in reducing water use and water costs for the occupants.

	MANDATORY CRITERIA	COMPLIANCE CHECKLIST
7.9.1	All homes must incorporate water efficiency, water loss prevention and hot water use efficiency measures of the BCA Five Star Plus Water Use in Houses Code.	
	DESIGN RECOMMENDATIONS	
7.9.2	The installation of WA Health Department approved greywater treatment/reuse is encouraged.	
7.9.3	The installation of water tank(s) is encouraged, with roof structures to have gutters to channel water to the water tank.	
7.9.4	The installation of water efficient appliances is encouraged.	

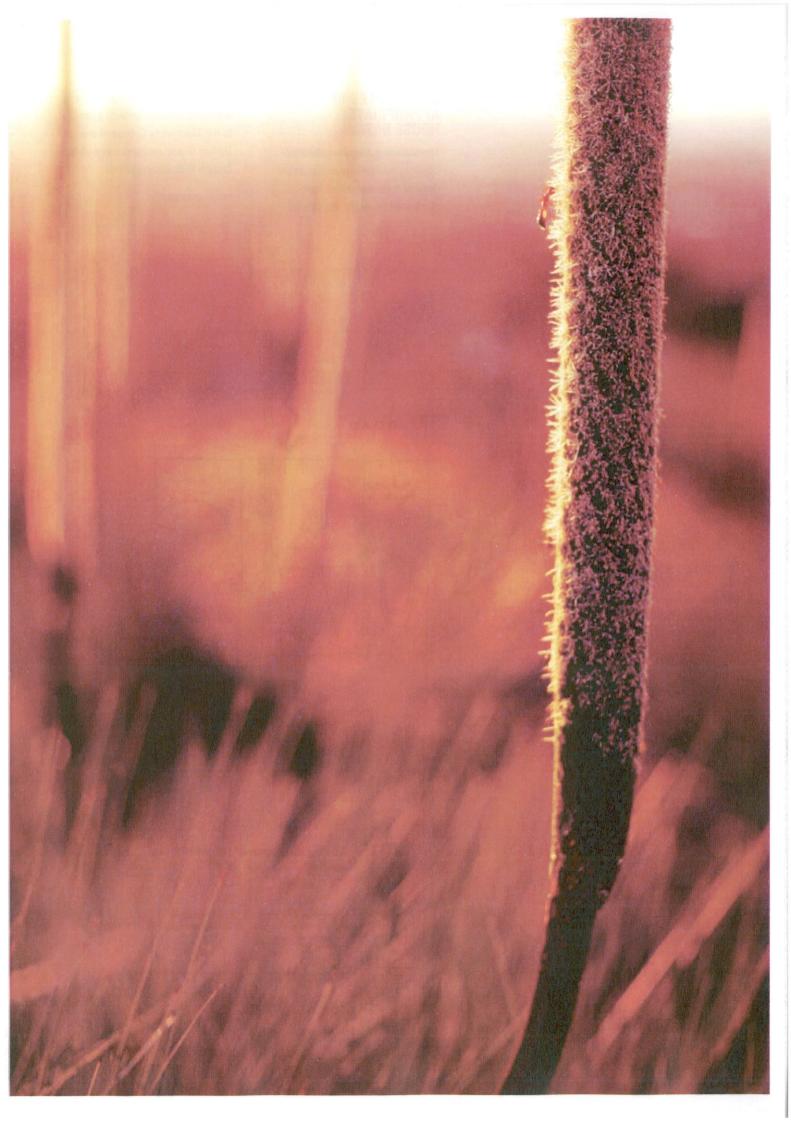
7.10 STORAGE AND SERVICING

The following identifies a design approach to the provision of storerooms, outbuildings and servicing considerations to assist in achieving a high quality of residential design and streetscape so as not to undermine the enjoyment of the home or reduce the quality of the estate.

	MANDATORY CRITERIA	COMPLIANCE CHECKLIST
7.10.1	Bin storage and clothes drying areas must be fully screened from public view.	
7.10.2	Freestanding sheds and storerooms must be constructed of the same or complementary materials, finishes, colours and roof types as the main house.	
	DESIGN RECOMMENDATIONS	
7.10.3	Bin storage areas should be located to minimise the impact on adjoining residences.	
7.10.4	Consider locating any air-conditioning units, solar collectors, satellite dishes or other plant or equipment to minimise visual and acoustic impact on adjoining residences and the streetscape.	
7.10.5	Storerooms under the main roof of homes are encouraged.	
7.10.6	Consider locating storerooms or sheds to minimise their visual impact on adjoining residences and the streetscape and so they do not adversely restrict summer breezes.	



Example of roof ventilated by an E-Vent. Also note, light coloured roofing material. (image, Combined Metal Industries) See 7.1.19~&~7.6.2

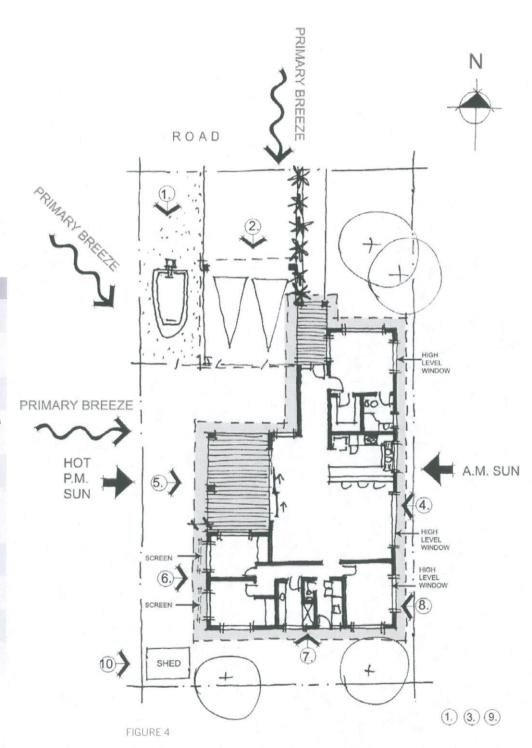


8. EXAMPLES OF APPROPRIATE HOUSE DESIGN

The following diagrams illustrate possible orientations and suitable designs for a standard single residential house or the smaller

laneway accessed cottage house with consideration already given to the Mandatory Criteria of the Design Guidelines and some of the Design Recommendations.

8.1 NORTH FACING STANDARD HOME



LEGENE

- 1. Boat bay ideally located to northern side to open up access to primary egress
- 2. Provide open carport in lieu of garage to maintain access to breezes. Locate carport to benefit from shading value
- 3. Try and shape the house form to 'trap' breeze into openings
- 4. Ensure to provide large outlet openings to encourage breeze to travel through house and not over or around house
- 5. Locate deck to create maximum shading benefit
- 6. Minimise exposure of windows to east and west elevations. Provide screens to east and west windows or increase sill height where appropriate
- 7. Locate non-habitable rooms to breeze blocked areas
- 8. Provide as much cross ventilation to rooms as possible.
- 9. Minimise obstructions/corners to breeze path as much as possible
- 10. Locate sheds and non-habitable structures away from breeze path.

8.2 SOUTH FACING STANDARD HOME

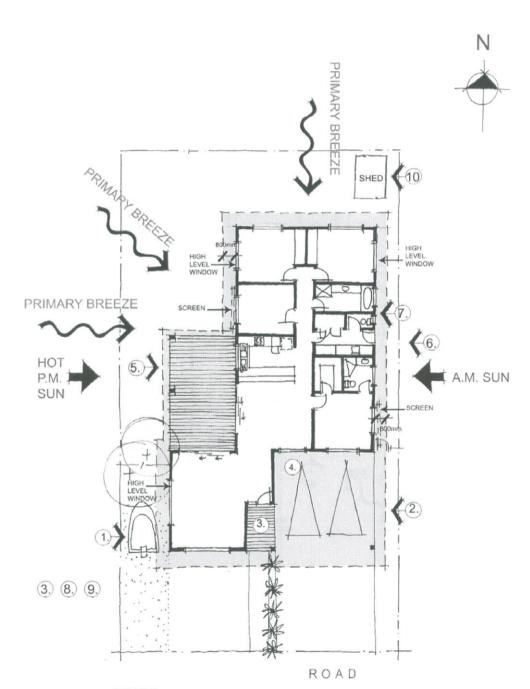
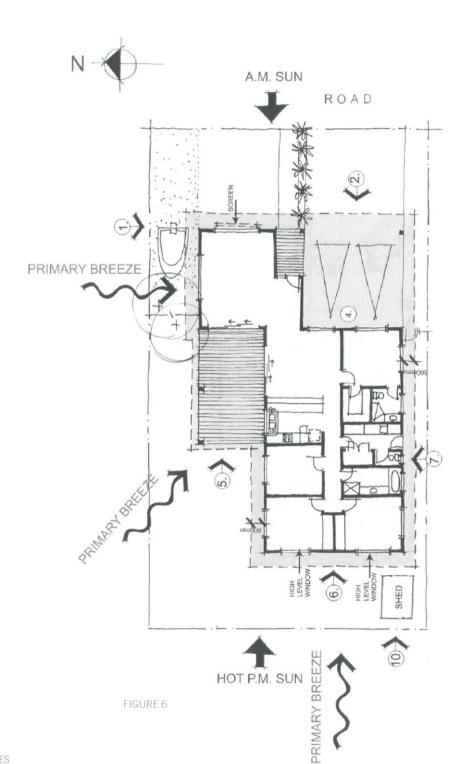


FIGURE 5

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- 1. Boat bay ideally located to northern side to open up access to primary egress
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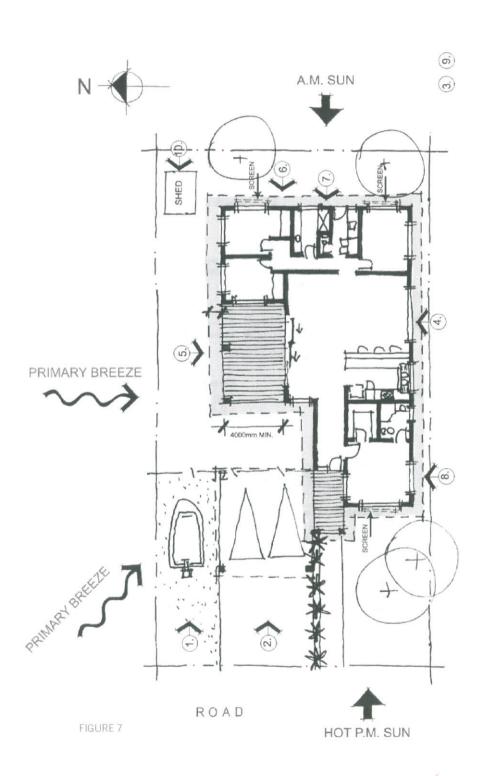
8.3 EAST FACING STANDARD HOME



LEGENI

- 1. Boat bay ideally located to northern side to open up access to primary egress
- 2. Provide open carport in lieu of garage to maintain access to breezes. Locate carport to benefit from shading value
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- 10. Locate sheds and non-habitable structures away from breeze path.

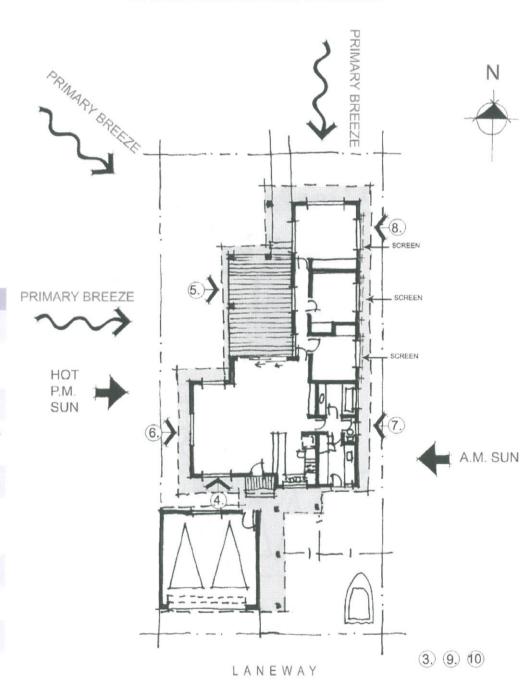
8.4 WEST FACING STANDARD HOME



EGEND

- 1. Boat bay ideally located to northern side to open up access to primary egress
- 2. Provide open carport in lieu of garage to maintain access to breezes. Locate carport to benefit from shading value
- 3. Try and shape the house form to 'trap' breeze into openings
- Ensure to provide large outlet openings to encourage breeze to travel through house and not over or around house
- 5. Locate deck to create maximum shading benefit
- 6. Minimise exposure of windows to east and west elevations. Provide screens to east and west windows or increase sill height where appropriate
- 7. Locate non-habitable rooms to breeze blocked areas
- 8. Provide as much cross ventilation to rooms as possible.
- 9. Minimise obstructions/corners to breeze path as much as possible
- 10. Locate sheds and non-habitable structures away from breeze path.

8.5 NORTH FACING REAR ACCESS COTTAGE HOME

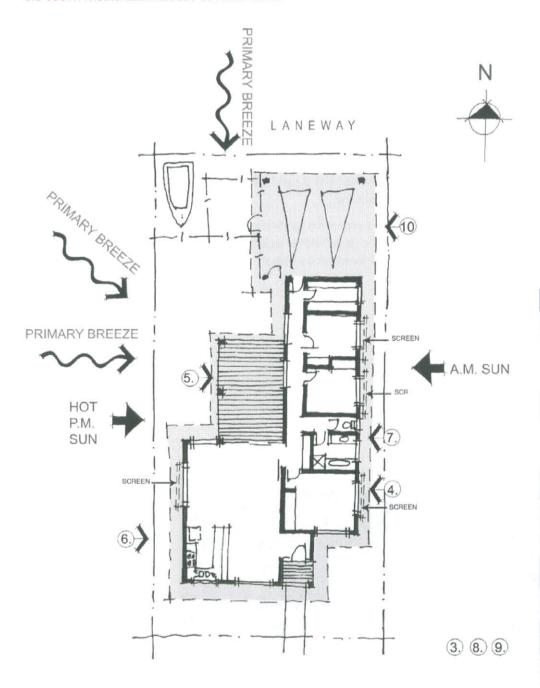


LEGEND

- 1. Boat bay ideally located to northern side to open up access to primary egress
- 2. Provide open carport in lieu of garage to maintain access to breezes. Locate carport to benefit from shading value
- 3. Try and shape the house form to 'trap' breeze into openings
- 4. Ensure to provide large outlet openings to encourage breeze to travel through house and not over or around house
- 5. Locate deck to create maximum shading benefit
- 6. Minimise exposure of windows to east and west elevations. Provide screens to east and west windows or increase sill height where appropriate
- 7. Locate non-habitable rooms to breeze blocked areas
- 8. Provide as much cross ventilation to rooms as possible.
- 9. Minimise obstructions/corners to breeze path as much as possible
- 10. Locate sheds and non-habitable structures away from breeze path.

FIGURE 8

8.6 SOUTH FACING REAR ACCESS COTTAGE HOME



EGEND

- 1. Boat bay ideally located to northern side to open up access to primary egress
- 2. Provide open carport in lieu of garage to maintain access to breezes. Locate carport to benefit from shading value
- 3. Try and shape the house form to 'trap' breeze into openings
- 4. Ensure to provide large outlet openings to encourage breeze to travel through house and not over or around house
- 5. Locate deck to create maximum shading benefit
- 6. Minimise exposure of windows to east and west elevations. Provide screens to east and west windows or increase sill height where appropriate
- 7. Locate non-habitable rooms to breeze blocked areas
- 8. Provide as much cross ventilation to rooms as possible.
- 9. Minimise obstructions/corners to breeze path as much as possible
- 10. Locate sheds and non-habitable structures away from breeze path.

THE 'DESIGN RECOMMENDATIONS' SPECIFY
DESIGN AND CONSTRUCTION RECOMMENDATIONS
TO CREATE A MORE SUSTAINABLE HOUSING
DESIGN AND AID IN ACHIEVING THE OBJECTIVES
OF THE DESIGN GUIDELINES



9. FURTHER INFORMATION AND REBATES

LandCorp is currently offering a
Landscape Rebate upon completion
of your front landscaping, or front
and side landscaping for corner lots.
In addition, some existing grants
and rebates are available through
the State and Federal Government
to assist with the implementation of
some of the elements of sustainable
design and living.

To obtain a copy of the Landscape rebate form please visit the project's website at www.landcorp.com.au

It is recommended that you review both the www.water.wa.gov.au and www.sedo.energy.wa.gov.au websites for further government rebate information.

In addition, further information regarding environmentally sustainable house design and construction Your Home Design Guide and the Technical Manual - is available at: www.greenhouse.gov.au/yourhome



Deep verandahs are encouraged to provide shading and extra useable outdoor living (image, Nordic Homes)



Outdoor cooking is a great way to keep cooking heat out of the house. See 7.1.11. (image Rural Building Co.)

10. RECOMMENDED PLANT SPECIES LIST

The Water Corporation has a brochure called "Water wise ways" – "Garden tips for the West Pilbara". This brochure contains a range of plant species suited to the Karratha environment which are recommended for inclusion in any landscaping of lots within Baynton West. Refer to 13 10 39 or www.watercorporation.com.au to obtain a copy of the brochure.

In addition, LandCorp has included a recommended plant species list as part of their Landscape Rebate at Appendix 1 suitable for your garden landscaping and recouping the Rebate.



Example of generously sized covered **outdoor living area** directly accessed from indoor living spaces. Note timber floor finish, timber absorbs less heat than paving, keeping area cooler. See 7.1.1. (image Rural Building Co.)

APPENDIX 1 - RECOMMENDED PLANT SPECIES LIST

A combination of any or all of the following plant species are recommended for use in the landscaping of grouped housing sites. These plants are generally readily available from local suppliers, and have been selected because they suit the local conditions.

TREES

Acacia coricea - Desert Oak Allocasuarina equisitifolia - Coastal Sheoak Callistemon 'King's Park Special' - King's Park Special Callistemon viminallis – Weeping Bottlebrush Cassia fistula - Golden Shower Tree Corymbia ficifolia 'Summer Red' - Summer Red Delonix regia - Royal Poinciana Eucalyptus platypus 'Heterophylla' - Coastal Moort Eucalyptus vitrix – Coolibah Ficus hillii - Hills Fig Melaleuca leucadendron - Cadjeput Peltophorum pterocarpum - Yellow Flame Tree Plumeria obtusa - Singapore Frangipani Plumeria rubra 'Pink' - Pink Flowering Frangipani Plumeria tricolor - Tricolor Frangipani Terminalia catappa - Indian Almond Tipuana tipu - Rosewood Tree

PALM TREES

Phoenix roebelini - Pygmy Date Palm Ravenala madagascariensis - Travellers Palm Wodyetia bifurcata - Foxtail Palm

SHRUBS

Acalypha inferno 'Firestorm' - Firestorm Adenanthos sericea - Albany Woolly Bush Agonis flexuosa 'Nana' - Dwarf Peppermint Alternanthera dentata - Joy Weed Alternanthera 'Red Threads' - Joseph's Coat Croton 'Sunny Star' - Sunny Star Cycas revoluta - Cycad Cyperus involucratus – Umbrella Sedge Dianella revoluta - Spreading Flax Lily Dianella revoluta 'Cassa Blue' - Cassa Blue Dianella 'Silver Streak - Silver Streak Duranta erecta 'Geisha Girl' - Sapphire Showers Duranta repens 'Sheena's Gold' - Sheena's Gold Eremophila maculata – Emu Bush Grevillea 'Robyn Gordon' - Robyn Gordon Grevillea Hibiscus tiliaceus - Beach Hibiscus

APPENDIX 1 - RECOMMENDED PLANT SPECIES LIST

Ixora chinensis - Jungle Flame

Ixora coccinea - Flame of the Woods

Ixora 'Malay Pink' - Malay Pink

Ixora 'Prince of Orange' - Prince of Orange

Leucophyta brownii - Cushion Bush

Melaleuca nesophila 'Little Nessy' - Little Nessy

Murraya paniculata - Orange Jessamine

Pimelea rosea – Rose Banjine

Punica gratatum 'Nana' - Dwarf Pomegranite

Rhoeo spathacea - Oyster Plant/Moses-in-a-Cradle

Strelitzia reginae - Bird of Paradise

Strelitzia Nicolai - Giant Bird of Paradise

Swainsona formosa – Sturt Pea

Westringia fruticosa - Coastal Rosemary

GROUNDCOVERS & CLIMBERS

Ajuga metallica crispa - Carpet Bugle

Allamandra cathartica - Golden Trumpet

Bougainvillea bambino - Dwarf Bambino

Bougainvillea glabra - Bougainvillea/Paper Flower

Callistemon 'Little John' - Little John

Clematis delicata - Native Clematis

Cymbopogon citratus – Lemongrass

Eremophila glabra 'Kalbarri Carpet' - Kalbarri Carpet

Grevillea 'GinGin Gem' prostrate - GinGin Gem

Grevillea thelemmanniana 'Seaspray' - Seaspray

Lilirope muscari – Lilyturf

Lomandra 'Little Con' – Little Con

Lomandra 'Tropicbelle' – Tropicbelle

Myoporum parvifolium – Boobialla

Passiflora coccinea - Red Flowering Passionfruit

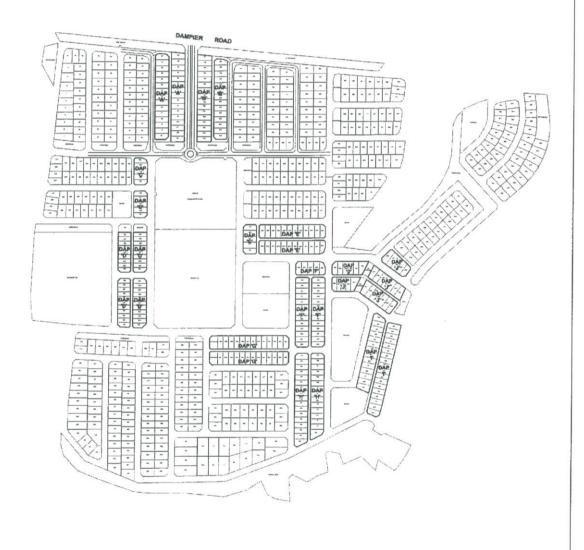
Ptilotus rotundifolius - Royal Mulla Mulla

Russellia equisetiformis – Firecracker Plant

Scaevola nitida 'prostrate' - Fan Flower

Trachelospermum jasminoides – Star Jasmine

BAYNTON WEST - KARRATHA DETAILED AREA PLAN LOCATIONS



LEGEND: DAP locations..... LCP BAY-08-11 : DWG No LANDCORP : CLIENT 1:5000 @ A3 : SCALE 22.01.2000 : DATE



BAYNTON WEST - KARRATHA SHIRE OF ROEBOURNE

BAYNTO NIVEST COTTAGE LOTS DETAILED AREA PLAN (DAP)

The provisions of the States of Rebourne Town Planning Scheme (TPS8) and the Residential Design Codes of Whitem Australia (R-Codes) or the statutory documents that may supper-seeds IPSS and or the R-Codes, shall apply unless otherwise varied below:

- 1. The density codingt for a lots subject to this DAP is R30;
 2. One single house shrells permitted on each lot:
 3. Double garages or carents are mendatory on all lots and are to be located in the position designated of the join unless an elemative location is approved by LandCorp and the Sihitaf Rosbourner;
 4. To encourage passalve sevalilance, dwellings shall be designed to address and overdoot the primary shall and second storay dwellings shall be vertoot primary and secondary strenets and reserves where applicabler;

SETBACKS

- A minimum sight prunction of 1,5 metres above a height no greater than 0.75 metres shall be achileved on both sides of the opening to a garage or carport.
 A 1,5 metre side scalar/lease setbeck applies to all buildings on each lot excluding enve to a maximum delin of 0,6 metres and other minor projections as defined in

- eaves to a maximum r digit of 0.5 metres and other minor projections as defined fire R-Code minimum in frost selback, accluding eaves to a coadmum depth of 0.5 moter and other millions rejections as defined in the R-Codes;

 8. A minimum setback of 13 metres from the rear boundary applies to all garages and carports on earch list.

 9. A minimum setback of 33 metres from the rear boundary applies to all dwellings (excludes garages, carports and seves to a maximum depth of 0.8 metres) on each lots:
- (excluses garagem, exclusion applies to all walls higher than 3.0 restres above finished floor levels:1

- A minimum sight truncation of 1.5 metres above a height no greater than 0.72 metres shall be achieved on both sides of the opening to a gameje or export 12. No access, other than if in pedestrians, shall be permitted within the frontage serbeck of any lot, linciliving any foreign funcacion;

- The minimum open spece requirement for each lot is 40% and is to be calcule in accordance with the provisions of the R-Codes;
- The R-Code outdoor lifvite area requirements may be varied such that a minimum 20m² area with a minimum dimension of 4 metres and permanent roof cover, accessible from a lifviting room and in a location to take advantage of summer

FENCING

- Non-permeable fencing or walls, greater than 900mm in height, are not permitted
 within the primery street lontage, holuding any adjacent comer truncations:
 Solid non-permeable fencing is permitted on secondary steel frontages and on
 the rear boundary of each of, including lamenty truncations;
 Fencing on boundaries sed within setback areas that are viewable from a sheet or reserve shall be constructed of materials, colours and finishes that complement, the dwelling;

STORAGE AND BIN STORAGE

- Storerooms, having a minimum floor area of 4m2, a minimum horizontal dimension of 1.5 metres and a minimum celling height of 2.4 metres, must be provided for every divellings. Whater a storemon in Infly teagrated with this divelling, girings or carport, the abstraction may be accessible from inside the develling provided access is also provided to the outside of the dwelling, either divectly or through a carport
- or garaget.

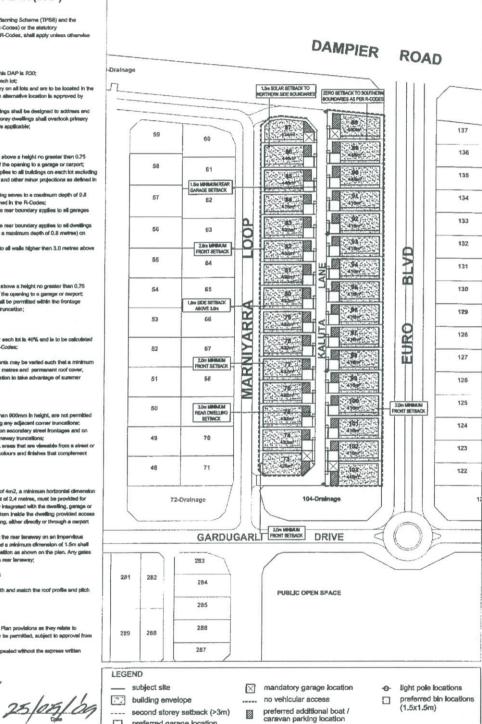
 11, A bit stand with unobstructed access from the near lensway on an impervious base having a minimum area of 2.25m2 and a minimum dimension of 1.5m shall be provided for each lot generally in the position as shown on the plan. Any gast to the bin stand are not to open out into the rear lansway;

AIR CONDITIONING/SOLAR HOT WATER UNIT S

Solar hot weter units must be integrated with and reach the roof profile and pitch
of the dwelling;

COMPLIANCE

- Minor modifications to these Detailed Areat Plan provisions as they relate to development on individual costage bits may be permitted, subject to approve from LandCorp and she Shire of Roebourne;
 These provisions cannot be amended or repasted without the express written
- These provisions cannot be consent of the Shire of Roeb



Soul

preferred additional boat / caravan parking location

detailed area plan 'A'

LOTS; 88-103 EURO BOULEVARD 73 - 87 MARNIYARRA LOOP BAYNTON WEST - KARRATHA SHIRE OF ROEBOURNE



preferred garage location

LCP BAY SU DS-OLD



APPENDIX 2 - DRAFT DETAILED AREA PLANS

BAYNTON WEST COTTAGE LOTS DETAILED AREA PLAN (DAP) The provisions of the Shire of Roebourne Town Planning Scheme (TPS8) and the Residential Design Codes of Western Australia (R-Codes) or the statutory documents that may supersede TPS8 and or the R-Codes, shell apply unless otherwise varied below: The density coding for all lots subject to this DAP is R30; One single house shall be permitted on each lot; Outle grange or capport are mandatory on all lots and are to be located in the position designated on the plan unless an attentive location is approved by LandCorp and the Shift of Resburse; noticips and the Shife of Roebourne; o encourage pseative surveilliance, twoillings shalf be designed to address and entook the primary street and second storay devellings shall overtook primary of secondary streets and reserves where applicable;

- 5. A minimum sight truncation of 1.5 metres above a height no greater than 0.75 metres shall be achieved on both sides of the opening to a garage or carport:

 6. A 1.5 metre side acisn/breaze setback applies to all buildings on each tot excludinates to a set and the content of the content of the content of the R-Codia;

 7. A 2 metre infaminum front setback, excluding severe to a maximum depth of 0.8 metres and other remore projections as defined the R-Codia;

 8. A minimum estituct of 1.5 metres from the rear boundary applies to all garages and respond to each feet.

- A minimum section of a tribute street boundary applies to all dwellings (excludes garages, carports and eaves to a maximum depth of 0.8 metres) on sach lob
- 10. A minimum side setback of 1.6m applies to all walls higher than 3.0 metres above finished floor lovels:

ACCESS

- 11. A minimum sight truncation of 1.5 metres above a height no prestor than 0.75 metres shall be achieved on both sites of the opening to a garage or carport;
 12. No access, other than for pedestrians, shall be permitted within the frontage sensect of any lot, including any trontage truncation;

- The Rt-Code outdoor living area requirements may be varied such that a minknum 20m² area with a entithrum dimension of 4 matrea and permanent roof cover, accessible from a living room and in a location to take advantage of summer breaze patisars is to be provided;

FENCING

- Non-permeable fencing or walls, greater than 900mm in height, are not permitted
 within the primary street frontage, holdding any adjacent corner truncations;
 Solid non-permeable fencing is permitted on secondary street frontages and on
 the next boundary of sech lot, including laneway truncations;
 Fencing on boundaries and within settack areas that are viewable from a street or
 reserve while be constructed of materials, colours and finishes that complement
 the dwelling;

STORAGE AND BIN STORAGE

- 10. Storerooms, having a minimum floor area of 4m2, a minimum horizontal dimension of 1.5 metres and a minimum celling height of 2.4 metres, must be provided for every dwelling. Where a adversorom is kingly integrated with the dwelling, arrange or carport, the storecoron may be accessible from heide the dwelling provided now in also provided to the outside of the dwelling, either directly or through a carport or carport.
- or garaget,

 11. A bin stand with unobstructed access from the rear laneway on an impervious
 base having a minimum area of 2.25m2 and a minimum dimension of 1.5m shell
 be provided for each lot generally in the position as shown on the plan. Any gates
 to the bin stand are not to open out into the near teneway;

AIR CONDITIONING/SOLAR HOT WATER UNIT S

12. Solar hot water units must be integrated with and match the roof profile and pitch

COMPLIANCE

- Minor modifications to these Detailed Ares Plan provisions as they relate to development on individual cottage lots may be permitted, subject to approval from LandCorp and the Shire of Roebourne;
 Toese provisions cannot be amended or repealed without the express written consent of the Shire of Roebourne.



DAMPIER ROAD 1.5m SOLAR SETBACK TO ZERO SETBACK TO SOUTHERN BOUNDARIES AS PER R-CODES 137 389m 107 417m 136 416m³ 135 147 **%**. 146 433 145 3.0m MINIMUM REAR DWELLING SETBACK 2,0m MINIMUM FRONT SETBACK 131. ш 113 432m 416mt Ш 143 129 m 1.8m SIDE SETBACK BLVD ABOVE 3.0m 128 ONG 142 127 1116 317 426 418m2 FRONT SETBACK Ш $\overline{\mathbf{m}}$ 140 UR 124 Ш 119 139 123 416m² 120 122 121-Drainage 158-Drainac GARDUGARLI DRIVE PUBLIC OPEN SPACE

LEGEND

--- subject site

building envelope

preferred garage location

mandatory garage location no vehicular access

second storey setback (>3m) preferred additional boat / caravan parking location

- light pole locations preferred bin locations (1.5x1.5m)

detailed area plan 'B'

LOTS 107-120 BETTONG BEND 122-137 EURO BOULEVARD BAYNTON WEST - KARRATHA SHIRE OF ROEBOURNE



SCALE 1: 1000 @ A3 DATE: 28,05,2009. LCP BAY SU 08-020



BAYNTON WEST COTTAGE LOTS DETAILED AREA PLAN (DAP)

The provisions of the Shire of Roebourne Town Planning Scheme (TPS8) and the Residential Design Codes of Western Australia (R-Codes) or the statutiony documents that may supersade TPS8 and or the R-Codes, shall apply unless other varied below:

DESIGN ELEMENTS

- The density coding for all lots subject to this DAP is R30;
 One single house shall be permitted on each lot;
 Onotele garages or carports are mandatory on all lots and are to be located in the position designated or the plan unless an alternative location is approved by LandCorp and the Siths of Rosbourne;
 To ancourage passivia surveillance, viveilings shall be designed to address and overlock the primary views and accordatory develings shall be designed to softress and secondary streets and reserves where applicable;

SETBACKS

- A minimum sight truncation of 1.5 metres above a height no greater than 0.75
 metres shall be achieved on both sides of the opening to a garage or carport;
 A 1.5 metre side solutionezes estilact applies to all buildings on each bit excluding
 exerce to a madewum depth of 0.8 metres and other minor projections as defined in
 the R-Codes;
- the R-Codes;

 7. A 2 metre sindmum front serback, excluding serves to a maximum depth of 0.8 metre and other milrior projections as defined in the R-Codes;

 8. A minimum setback of 1,5 metres from the rear boundary applies to all garages
- A minimum setback of 3.0 metres from the rear boundary applies to all dwellings (excludes garages, carports and serves to a maximum depth of 0.8 metres) on
- ourn side setbeck of 1.8m applies to all walls higher than 3.0 metres above

ACCESS

- A minimum sight truncation of 1.5 metres above a height no groeter than 0.75
 metres shall be achieved on both sides of the opening to a garage or carport.
 No access, other than for pedestations, shall be permitted within the frontage
 setback of any lot, including any frontage truncation;

- The R-Code cutdoor living area requirements may be varied such that a minimum 20m² area with a minimum dismension of 4 metres and permanent mol cover, accessible from a living room and in a location to take advantage of summer breaza patterns in to be provided;

- Non-permeable fencing or waits, greater then 900mm in height, are not permitted
 within the primary street frontage, including any adjacent corner truncations;
 Solid non-permeable fencing is permitted on econdary street frontages and on
 the rear boundary of sech lot, including laneway truncations;
 Fencing on boundaries and within setback areas that are viewable from a street or
 reserve whall be constructed of materials, colours and finishes that complement
 the dwelling;

STORAGE AND BIN STORAGE

- 10. Storecoms, having a minimum floor area of 4m2, a minimum horizontal dimension of 1.5 motors and a minimum celling height of 2.4 metres, must be provised for every dwelling. Where a storecom is stuly integrated with the dwelling, garage or carport, the storecom may be accessible from Inside the dwelling provided scene is also provided to the outside of the dwelling, either directly or through a carport or carport.
- is also provided to the outside of the dwelling, either directly or through a carport or paraget.

 11. A blin stand with usobstructed access from the rear laneway on an impendous base having a minimum area of 2.55m2 and a minimum dimension of 1.5m shall be provided for each lot generally in the position as shown on the plan. Any gettes to the bin stand are not to open out into the rear laneway;

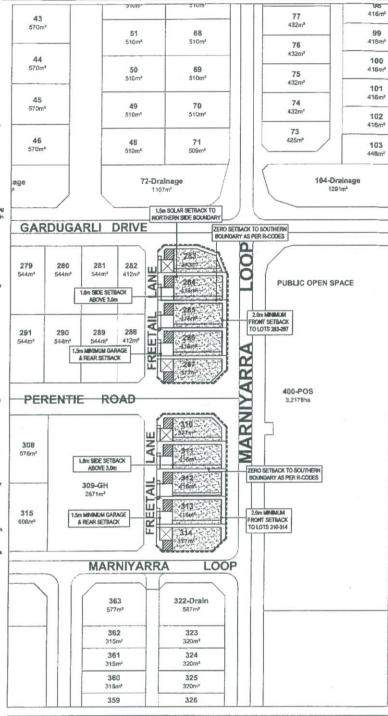
AIR CONDITIONING/SOLAR HOT WATER UNITS

Soler hot water units must be linkegrated with and metch the roof profile and plitch of the dwelling:

COMPLIANCE

- Minor modifications to these Detailed Area Plan provisions as they relate to development on individual cottage lots may be permitted, subject to approval from LendCorp and the Shifre of Reabourne;
- 14. These provisions cannot be amended or repealed without the express written





LEGEND

- ___ subject site
- building envelope
- --- second storey setback (>3m)
- preferred garage location
- mandatory garage location no vehicular access
- preferred additional boat / caravan parking location
- light pole locations
- preferred bin locations (1.5x1.5m)

detailed area plan 'C'

LOTS: 283 - 287; 310 - 314 MARNIYARRA LOOP BAYNTON WEST - KARRATHA SHIRE OF ROEBOURNE



SCALE 1: 1000 @ A3 DATE: 20.05.2009. LCP BAY SU 08-03a



APPENDIX 2 - DETAILED AREA PLANS

BAYNTON WEST COTTAGE LOTS DETAILED AREA PLAN (DAP)

The provisions of the Stille of Ricebourne Town Planning Scheme (TPS8) and the Residential Design Codes of Western Australia (R-Codes) or the statutory documents that may supersede TPS8 and or the R-Codes, shall apply unless otherwise varied before:

DESIGN ELEMENTS

- The density coting for all lots subject to this DAP is R30;
 One single house shall be permitted on each lot;
 Double garages or capports are mandatory on all lots and are to be located in the position designated on the plan unless an alternative location is approved by LandCorp and the Shire of Roebourne;
 To encourage passive surveillance, dwellings shall be designed to eddress and overfock the primary street and second storey dwellings shell overfock primary and second storey dwellings shell overfock primary and second storey dwellings shell overfock primary.

SETBACKS

- A minimum sight truncation of 1.5 metres above a height no greater than 0.75 metres shall be achieved on both sides of the opening to a pirage or carport: A 1.5 metre side solar/breces sottack applies to all buildings on each jot excluding eaves to a medimum depth of 0.8 metres and other minor projections as defined in the R-Codes;
- A 2 metre minimum front setbeck, excluding enves to a maximum depth of 0.8 metre and other arinor projections as defined in the R-Codes:
 A minimum setbeck of 1.5 metres from the rear boundary applies to all garages.
- and carports on each lot:
- and carports on each size.

 A minimum setback of 3.0 metres from the near boundary applies to all dwellings (excludes garages, carports and eaves to a maximum depth of 0.8 metres) on each lot
- 10. A minimum side setback of 1.8m applies to all walls higher than 3.0 metres about

ACCESS

- A minimum signit truncation of 1.5 metres above a height no groater than 0.75
 metres shall be achieved on both sides of the opening to a garage or carport;
 No access, other than for prodestitions, shall be permitted within the frontage
 serback of any lot, including any frontage buncation;

- The minimum open space requirement for each lot is 40% and is to be calculn accordance with the provisions of the R-Codes;
- The R-Code outdoor fiving area requirements may be varied such that a minimum 20m² area with a minimum dimension of 4 metres and permanent roof cover, accessible from a fiving room and in a location to take adventage of summer breazo patterns is to be provided;

FENCING

- Non-permeable fencing or walte, greater than 600mm in height, are not permitted within the primary sireet frontage, including any adjacent corner truncations;
 Solid non-permeable fencing is permitted on secondary sheet frontages and on the next boundary of seet fold, including lineway truncations;
 Fencing on boundaries and within setback areas that are viewable from a sivest or reserve shall be constructed of materials, colours and finishes that complement the dwelling:

STORAGE AND RIN STORAGE

- Storercoms, having a minimum floor area of 4m2, a minimum horborstal dimension of 1.5 metres and a minimum ceiling height of 2.4 metres, must be provided for every dwelling. Where a storercom is fully integrated with the dwelling, garage or carport, the storercom may be accessible from laids the dwelling provided access is also provided to the outside of the dwelling, either directly or through a carport
- or garage;

 11. A bin stand with unobstructed access from the rear laneway on an impervious base having a minimum area of 2.25m2 and a minimum dimension of 1,5m shall be provided for each lot generally in the position as shown on the plan. Any getes to the bin stand are not to open out into the rear leneway;

AIR CONDITIONING/SOLAR HOT WATER UNITS

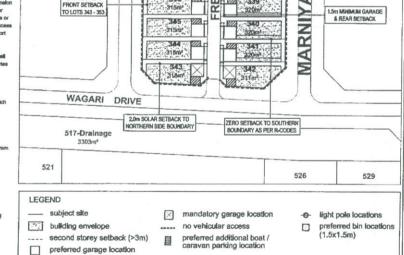
Min

Executive Manager Developm Shire of Roebourne

12. Solar hot water units must be integrated with and match the roof profile and plach of the dwelling

COMPLIANCE

- Minor modifications to these Detailed Area Pfen provisions as they relate to development on individual cottage lots may be permitted, subject to approval from LandCorp and the Strie of Rosbourne;
 Those provisions cannot be amended or repealed without the express written consent of the Shire of Rosbourne.



7871m²

363

362

361 2/2 315m

360 2/2 315m³

359 7/4 -

358 315m

356 315m²

BILBY

307m² 352 315m²

351. 315m²

315m

31510

346 315m²

11/10

355 315m

357 315m

1.5m SOLAR SETBACK TO NORTHERN SIDE BOUNDARIES SETBACK TO SOUTHERN BOUNDARIES AS PER R-CODES

322-Drain

000

TO LOTS 323 - 331

RA

2

D

1.5m MINIMUM GARAGE

323 320m

325 329m

327 320m

328 320m²

329 329m

× :33f

LINK 392

333 320mf

334 329m² 335 320m²

320m² S

Z 238

339 320m²

330 3200

326

ETAI

324 329m

316

315

MARNIYARRA LOOP

1.8m SIDE SETBACK

2.0m MINIMUM

FRONT SETBACK TO LOTS 354 - 362

1.5m MINRAUM GARAGE & REAR SETBACK

365-Special Use 4.1936ha

1.8m SIDE SETBACK ABOVE 3.0m

TO LOTS 343 - 353

OAI

M

MINYA

detailed area plan 'D'

LOTS: 323-342 MARNIYARRA LOOP 342-362 WINYAMA ROAD BAYNTON WEST - KARRATHA SHIRE OF ROEBOURNE



SCALE 1: 1000 @ A3 DATE: 20.05.2009. LCP BAY SU 08-04f





BAYNTON WEST COTTAGE LOTS DETAILED AREA PLAN (DAP)

The provisions of the Shire of Roebourne Town Planning Scheme (TPS8) and the Residential Design Codes of Western Australia (R-Codes) or the statutory documents that may supersede TPS8 and or the R-Codes, shall apply unless otherwise

DESIGN ELEMENTS

- The density coding for all lots subject to this DAP is R30;
 One single house shall be permitted on each lot;
 Double gereges or carports are mandatory on all lots and are to be located in the position designated on the pinn urbes an atternative location is approved by LandCorp and the Shire of Roebourne;
 To encourage passive surveillance, dwellings shall be designed to address and overlock the primary street and second storey dwellings shall be designed as the conditions of the primary street and second storey dwellings shall be designed to address and overlock the primary street and second storey dwellings shall be designed to address and secondary streets and reserves where applicable;

SETRACKS

- A minimum sight truncetion of 1.5 metres above a height no greater than 0.75 metres shall be achieved on both sides of the opening to a garage or carport;
 A 1.5 metre side soler/breaze setheck applies to all buildings on each foll excluding severe to a maximum depth of 0.8 metres and other minor projections as defined in the R-Codes;
 A 2 metre refinimum front setheck, excluding series to a maximum depth of 0.5 metre and other relinor projections as defined in the R-Codes;
 A minimum setheck of 1.5 metres from the rear boundary applies to all garages and carports on each lot;
 A minimum setheck of 3.0 metres from the rear boundary applies to all dwellings (excludes garages, carports and seves to a maximum depth of 0.8 metres) on sech lot;

- sech lot;

 10. A minimum alde setback of 1.8m applies to all walls higher than 3.0 metres above finished floor levels;

ACCESS

- A minimum slight truncetion of 1.5 metres above a height no greater than 0.75
 metres shall be achieved on both sides of the opening to a garage or corport
 No access, other than for predestitans, shall be parentiated within the trontage
 aesticack of any lot, including any frontage truncation:

OPEN SPACE

- The minimum open space requirement for each lot is 40% and is to be calculated in accordance with the provisions of the R-Codes;
- The R-Code outdoor living area requirements may be varied such that a minimum 20m² area with a minimum dimension of 4 metres and permanent root cover, scossable from alliving room and in a location to take adventage of summer breaze petterns is to be provided;

LEGEND

- subject site
- building envelope --- second storey setback (>3m)
- preferred garage location mandatory garage location
- no vehicular access
- preferred additional boat / caravan parking location
- -e- light pole locations
- preferred bin locations (1.5x1.5m)

- 14. Non-permeable tending or walls, greater than 900mm in helphi, are not permitted within the primary street frontage, Including any adjacent corner burnostions:

 15. Solds non-permeable funcing in permitted on secondary street frontages and on the reer boundary of each lot, including lenewey truncations;

 16. Fanding on boundaries and within settleck areas that are viewable from a street or reserve
- shall be constructed of materials, colours and finishes that complement the dwalling:

STORAGE AND BIN STORAGE

- 17. Storeroome, having a minimum toor area of 4m2, a minimum horizontal dimension of 1,5 materias and a minimum calling height of 2.4 matine, must be provided for every dwelling. Where a storeroom is killy integrated with the dwelling, garage or carport. The storeroom may be accomable from Inside the dwelling provided access is also provided to the outside of the dwelling, either directly or through a support or garage;
 18. A bit stand with unobstructed access from the rear laneway on an impervious base having a minimum ama of 2.25m2 and a minimum dimension of 1,5m shall be provided to each lot generally in the position as shown on the plan. Any gates to the bin stand are not to open out into the rear laneway;

AIR CONDITIONING/SOLAR HOT WATER UNITS

Solar hot water units must be integrated with and match the roof profile and plich of the challing.

- 20. Minor modifications to these Detailed Area Plan provisions as they relate to development on individual cottage lots may be permitted, subject to approval from LandCorp and the Shire of Rosbourne;
 21. These provisions cannot be amended or sepesied without the supress written consent of the Shire of Rosbourne.

NOOKSCOTS WWW. 25/05/09
Executive Milnager Development Services

detailed area plan 'E'

LOTS: 452 - 463 ECHIDNA ROAD

464 - 475 MARRI MARRI PARADE
478 - 480 GARDUGARLI DRIVE
BAYNTON WEST - KARRATHA
SHIRE OF ROEBOURNE





APPENDIX 2 - DETAILED AREA PLANS

BAYNTON WEST COTTAGE LOTS DETAILED AREA PLAN (DAP) The provisions of the Shire of Roebourne Town Planning Scheme (TPSE) and the Rosidonfial Design Codes of Western Australia (R-Codes) or the stratory occurrents that may supersede TPSE and or the R-Codes, shall apply unless othe varied below;

- The density coding for all flots subject to this DAP is R30;
 One single house shall be permitted on each lot:
 Double garages or carports are mandatory on all lots and are to be located in the position designated on the plan unless an alternative location is approved by LandCorp and the Shane of Roebourne;
- LandCorp and the Shire of Roebourne;

 To encourage passive surveillance, dwellings shall be designed to address and overlook the privary street and second storey dwellings shall overlook primary and secondary streets and reserves where applicable;

SETRACKS

- 5. A minimum sight truncation of 1.5 metres above a height no greater than 0.75 metres shall be achieved on both aldes of the opening to a garage or carport.

 6. A 1.5 metre side acinthrecare settlack applies to all buildings on each lot excluding serve to a maximum depth of 0.8 metres and other minor projections as delined is the R-Codes;

 7. A 2 metre shallmum front settlect, excluding serves to a maximum depth of 0.8 metres and other minor projections as defined in the R-Codes;

 8. A minimum settlect of 1.5 metres from the rear boundary applies to all garages and carports on each lot;

 9. A misimum settlect of 0.5 metres from the rear boundary applies to all dwellings (excludes garages, carports and serves to a maximum depth of 0.8 metres) on each lot;
- A minimum side setback of 1.8m applies to all walls higher than 3.0 metres above

ACCESS

- A minimum sight truncation of 1.5 metres above a height no greater than 0.75
 mitres shall be actived on both sides of the opening to a garage or carport:
 12. No access, other than for prodestylans, shall be permitted within the frontage
 solbect of any lot, including any frontage truncation;

- The chinimum open space requirement for each lot is 40% and is to be calc in accordance with the provisions of the R-Codes;
- The R-Code outdoor living area requirements may be varied such that a minit 20m² near with a minimum dishension of 4 metres and permanent roof cover, accessible from a living room and in a location to take advantage of summer breeze pattims is to be provided;

- Non-permeable fending or walls, greater than 900mm in height, are not permitted within the primary street frontage, including any adjacent corner truncations:
 Solid non-permeable fending is permitted on secondary street forstages and on the near boundary of each lot, including laneway truncations:
 Fending on boundaries and within setbeck areas that are viewable from a street or reserve shall be constructed of meterlats, colours and linkhee that complement.

STORAGE AND BUN SYORAGE

- 10. Storerooms, harding a minimum floor area of 4m2, a minimum horizontal dimension of 1.5 metres and a minimum celling helphi of 2.4 metres, must be provided for every dwelling. Where a storeroom is 1 kelly integrated with the dwelling, parage or carport, the storeroom may be accessible from Inside the dwelling provided access is also provided to the outside of the dwelling, either discriby or through a carport or carport.
- or parage;

 11. A bin stend with unobstructed access from the rear leneway on an impervious
 base having a minimum area of 2.25m2 and a minimum dimension of 1.5m shall
 be provided for each lot generally in the position as shown on the plan, Any gaise
 to the bin stand are not to open out into the rear laneway;

AIR CONDITIONING/SOLAR HOT WATER UNIT'S

Solar hot water units must be integrated with and metch the roof profile and pitch
of the dwelling;

COMPLIANCE

- 13. Minor modifications to these Detailed Area Plan provisions as they relate to development on Individual cottage lots may be permitted, subject to approval from LandCorp and the Shire of Roebourne;
- 14. These provisions cannot be amended or repealed without the express written



455 456 458 460 462 463 416m 416m² 416m² 418m 416m2 418m² 416m 416m² 425m 464 472 416m² 466 416m² 470 469 467 389m² 416m² 415m 416m² 416m² 416m² 416m 415m² MARRI MARRI 1.8m SIDE SETBACK ABOVE 3.0m ZERO SETBACK TO SOUTHERN BOUNDARIES AS PER R-CODES PARADE 483 440m² 484 448m² 485 446m 792 486 791 2.0m SOLAR SETBACK TO MESTERN SIDE BOUNDARIES RIVE DINGO LANE 1,5m MINIMUM GARAGE OAD & REAR SETBACK 487 497m 368 367 368 514 488 1.8m SIDE SETBACK ABOVE 3.0m 513 FRONT SETBACK TO LOTS 487 - 499 . /// ZERO SETBACK TO SOUTHERN BOUNDARIES AS PER R-CODE 492 416m² ZERO SETBACK TO SOUTHERN Y. 2.0m MINIMUM FRONT SETBACK TO LOTS 503 - 515 509 493 416m 8 1.5m SOLAR SETBACK TO DA 507 NORTHERN SIDE BOUNDARIES 495 416m 1.5m MINIMUM GARAGE & REAR SETBACK 506 400ml 1 œ 1 ⋖ AMA , 1/2 BAJ 652 653 654 416m 499 381m 503 THAWU LANE 725 655 657 416m3 416m 400m 726 400m 727 754 LEGEND mandatory garage location

building envelope ... second storey setback (>3m)

preferred garage location

no vehicular access

preferred additional boat / caravan parking location

-e- light pole locations

preferred bin locations (1.5x1.5m)

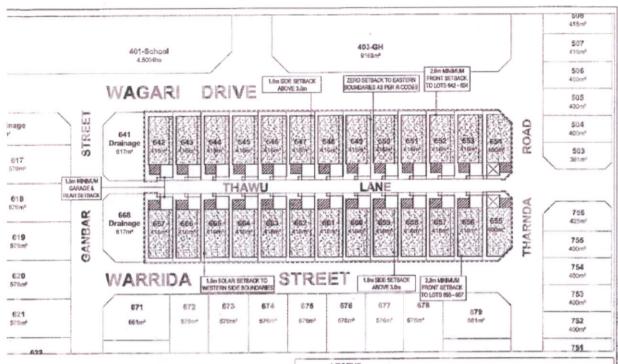
detailed area plan 'F'

LOTS: 482 - 486 MARRI MARRI PARADE 487 - 499 BAJAMALU DRIVE 503 - 515 THARNDA ROAD BAYNTON WEST - KARRATHA SHIRE OF ROEBOURNE



SCALE 1: 1000 @ A3





BAYNTON WEST COTTAGE LOTS DETAILED AREA PLAN (DAP)

The provisions of the Shins of Roebourne Town Planning Scheme (TPGE) and the Residential Design Codes of Western Australia (\$4-Codes) or the statutory documents that may supermode TPGS and or the R-Codes, small apply unions otherwise varied below:

DESIGN ELEMENTS

- The density coding for all tots subject to this DAP is RGM:

 Core single frame shall be permitted on each loc.

 Doubte garages or capacits are mandatory on all bits and are to be located in the position disriputed on the plan nations in attenuate bonding in approved by LandCorp and the Share of Rosbourne:

 To encourage passive surveillance, desilings shall be designed to exhibes and overfock for planky stress and ascend storay dealings shall overshock primary and second storay dealings shall overshock primary and second-storay desilings shall overshock primary.

SETBACKS

- 5. A minimum eight invecation of 1.5 metres above a hulght no graeter than 0.76 metres shall be exhibited on both eides of the opening to a garage or corport.
 6. A 1.5 moth side adoptament establish agains to all buildings or each including serves to a maximum depth of 3.0 metres and other mitro projections ac ordinal in the R-Coderc.
 7. A 2 metre without motor projections as defined in the R-Coderc.
 8. A minimum and eiter minor projections as defined in the R-Coderc.
 8. A minimum softasis of 1.5 metres from the rare foundary applies to all garages and carporation each list.
 9. A minimum softasis of 3.0 metres from the rare boundary applies to all organization (settlings garages), corports and earnes to a maximum depth of 0.5 metres) on each lot.
 9. A minimum side orthout of 1.5m applies to all water than 3.0 metros bones.

- each RX; 50. A minimum side sethack of 1.2m applies to all walls higher than 3.0 milros soone finished floor lines;

ACCESS

- 11. A minimum sight funnation of 1.6 metric plans a height no greater than 0.75 metric shall be achieved as both sides of the opening to a parage or carport, 12. No access, other than for podentions, shall be provided within the foreign setback of any lost, heliciting any foreign to recording.
- OPEN SPACE
 - The minimum open space requirement for each lot is 40% and its to be calculated in accordance with the provisions of the R4-Codes;
 - d. The R-Code outdoor living since encoherents assy by varied such that a minimum 20m² ercs with a military differential of 4 metres and parameter tool cover, acceptable from a living result out of a thousant to take advantage of summer beauty pulpers in to be provided;

LEGEND

- subject site
- building envelope --- second storey setback (>3m)
- preferred garage location
- mandatory garage location
- --- no vehicular access
- preferred additional boat / caravan parking location
- light pole locations
- preferred bin locations (1.5x1.5m)

- 14. Non-permosable lending or walls, greater than 800mm in height, are not permitted within the primary street freetage, including any edipsed corner farmanises;
 15. Solid congenerable feeding by permitted on executery wheel flootinges and on the reservice unitary of each tot. Including tensory tensorions;
 16. Feeding on boundaries and within settlence was that are visiencie from a silved or reserve shall be constructed or materials, actions and felialnes that complement the dwelling;

- 17. Sucressons, having a minimum fibor area of 4m2, a minimum heritonial desemblon of 1.5 meters and a minimum solitory height of 2.4 meters, must be provided for every dwelling. When a submission will be interested in the dwelling, gaining or carpor, the siturested may be excessable from inside the dwelling provided aboves in step provided to the outside of the dwelling, their disordy or frough a surport or gaining.
 18. A for shard with unobstructed access from the heir interesting on a impendious been tracing a minimum area of 2.25m2 and a minimum dimension of 1.5m shall be provided for each for generally in the possible as shown on the plan. Any gains to the film stand are not in open out into the rear laneuary.

ARE CONDITIONING/SOLAR HOT WATER UNITS

19. Solar hal water units must be integrated with end must his roof profile and pitch of the

- 20. Milror modifications to these Detailed Area Plan provisions as they relate to development on individual outage into any be permitted, existent to approve from LandCoap and the Shibs of Roubscorie.
 25. These provisions cannot be amended or repeated without the express written consent of the Shibr of Roubscorree.

Winly 25/05/09

detailed area plan 'G'

LOTS: 842 - 954 WAGARI DREVE 856 - 867 WARRICK STREET BAYNTON WEST - KARRATHA SHIRE OF ROEBOURNE



SCALE 1: 1006 (8 A3 DATE: 20.08(2006). LOP BAY SU 06-050



APPENDIX 2 - DETAILED AREA PLANS

BAYNTON WEST COTTAGE LOTS DETAILED AREA PLAN (DAP)

The provisions of the Shire of Rosbourne Town Flamming Sicheme (TPSR) and the Heidenfull Design Codes of Western Australia (R-Codes) or the statistics documents that may superscore TPSR and or the R-Codes, shall apply unless other warked below:

DESIGN ELEMENTS

- The density coding for all bits subject to this DAP is R30;
 One single house shall be permitted on each lot;
 One single house shall be permitted on each lot;
 Double garages or caports an unandatory on all lots and are to be located in the penilson designated on the plan series an alternative location is approved by LandCorp and the Silvie of Roobsurva;
 The encourage peaks surveillance, designs; shall be designed to editines and overdook the primary strott and record sturring dealings shall be designed and advantage and advantage the primary strott and record sturring dealings shall eventook primary and advantages and receives where applicable;

SETBACKS

- 6. A minimum eight truncation of 1.5 motims above a height eo greater than 0.75 motims shall be arbitred on both aldos of the opening to a gastroe or carpert.
 6. A 1.5 motive abbs solutionwess extincts applies to all traditings on each lot excitations earest to a maximum dispit of 0.8 motims and other minor projections as delated if the R-Coden;
 7. A 2 motion traditional book ordinate, excitating eares to a maximum depth of 0.8 metre and other minor projections as defined in the R-Coden;
 6. A nivitarium autiback of 1.5 motions from the rear boundary applies to all garages and corporate on each lot.
 9. A nivitarium subback of 3.0 motions from the rear boundary applies to all dwellings (postuloss garages, carports and saves to a maximum depth of 0.8 metres) on each lot.
- 10. A minimum side settenic of 1,0m applice to all walls higher than 3.0 metres above finished floor levels;

- A minimum sight truncation of 1.5 minims shows a beight no greater than 0.75 minims shall be unliked on both sides of the opining to a garage or respect 12. No access other than to productivers, who be previously within the truntage setback of any lot, including any frontage truncation;

- The minimum open space requirement for each lot is 40% and is to be calculated in accordance with the provisions of the R-Codest
- 6. The IP-Code outdoor living sines requirements may be varied such that a minit 20x1* area with a minimum disnominal of a materia and permittent tool cover accessible from a living room and in a location to take advantage of summer breach patterns is to be provided:

- Non-pursocolis feoclog or wolls, greater than 600cm in hoight, are not permitted
 within the primary sirvest tendage, holading any adjoined corner funcations;
 Salet non-permitted fearch at permitted on secondary street frontages and on
 the rear boundary of each int, holading laneary transactions;
 Practing on boundaries and within settact areas that are wheatile from a street or
 reserve shell be constructed of materials, colours and threshes that complement.

STORAGE AND BIN SYGRAGE

- 10. Storenome, having a minimum foor area of first, a minimum tortonate dimension of 1.5 motions and a minimum entiring height of 2.4 metics, must be provided for every dwelling. Where a storenom is 1.6 minimum foot of welling, garage or carport. The storenoom may be accessed in the visite to the welling provided access in who provided to the outside of the dwelling, other directly or through a carport.
- or garager.

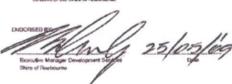
 15. A bit shand with unobstitution discess from the over flaveway on an imprevious base having a minimum area of 2,25m2 and a retetrum dimension of 1,5m shall be provided for each lot generally in the position as shown on the plan. Any gates to the bits stand are not to open out into the reor fanceury;

AIR CONDITIONING/SOLAR HOT WATER UNIT'S

12. Solar act water units must be integrated with and musch the reof grollin and after

COMPLIANCE

- Minor modifications to these Debilled Area Plan provisions an tray relate to development on individual cottage foto may be president, subject to approve LeadCop and the State of Roebcurre;
 Those previous control the areanded or reposited without the surpress write consent of the Shiau of Roebcurre.



LEGEND

- building envelope
 - second storey setback (>3m)
- preferred garage location
- mandatory garage location no vehicular access
- preferred additional boat / caravan parking location
- light pole locations
- preferred bin locations (1.5x1.5m)

detailed area plan 'H'

BAYNTON WEST - KARRATHA SHIRE OF ROCEOURNE



497

493

499

LANE

727

728. 416m

729

731 4 feer

T

₹ 10m

, 1 734

735 410m

736 - 419er

737 416m

738 - 450m²

MITTIRA

DRIV

ZERO SETIMON TO SOUTHERN DUNDARIES AS PER R-CODES

2.0% MINIMUM FRONT SETBACK TO LOTS 725 - 739

ALU

AJAM

1

. 726

504

583

THAWU

755

754

752

751

749 400m²

743

746

745

416m³

743

742

741

747

W.

750

4

HARND

653 415m

858

1.5m MINIMUM GARAGE A PEAR SETBACK

661m

1,5m SIDE SETBACK ABOVE 3,0m

661m² 2.0m MINIMAN

1.5m SOLAR SETBACK TO NORTHERN SIDE BOUNDARIES

670m

07270

700

ZERO SETSACK TO SOUTHERN BOUNDARY AS PER R-CODES

TO LOTS 740 - 756

655

652

657

678

682

637

701



BAYNTON WEST COTTAGE LOTS DETAILED AREA PLAN (DAP)

Residential Dosign Codes of Western Australia (R-Codes) or the statutory documents that may supersede TPSS and or the ft-Codes, shall apply unless offerwise

DESIGN BLEMENTS

- The density cading for all lots subject to this DAP is R30;
 One single house shall be permitted on each lot;
 Double gengos or emports are mendatary on all lots and see to be located in the position designand on the plan values are alternative location in approved by LandCoop and the Shihe of Roebourne;
 To encourage peaches convolutions, dentifying shall be designed to address and overlook the privacy streets and second sleepy deelings shall overlook privacy and secondary streets and resolves where applicable;

SETRACICS

- A maintain sight buroation of 1.5 metres above a height on greater than 0.25 matrix shall be achieved on both sides of this operating bit gainting on corts of a 1.5 metre alide sclusifures shall be selected as the control of calculating on corts of exclusifures than 1.5 metre alide sclusifures shall be shall only on the historia shall be selected in the R-Codour.
 A 2 metre statement horst settlack, and adapt evers to a material sole of 0.6 metre safe of 0.6 metre safe of the reinforce of 1.5 metres from the reinforce of 0.6 metres of 0.6 metres from the reinforce of 0.6 metres from the reinforce of 0.6 metres from the reinforce of 0.6 metres of 0.6 metres of 0.6 metres from the rear boundary applies to all detailings (modulating perspen, captures and reives to a maximum depth of 0.8 metres) on each lot.

- ouch lot
- 10. A minimum side selbeck of 1.8m applies to all walls higher than 3.0 metres above first-best Book kneekt

ACCESS

- 11. A nakimum sight truncation of 1.5 motives observe a helpful see greater than 0.75 meters abad to a collevied on both sides of the opening to a garage or corport 12. No access, other than to productions, third be permitted within the fruntage softback of any left, including any formings truncation;

- The reinlayum opper space requirement for each lot is 40% and is to be calculated in accontance with the provisions of the R-Costor;
- The Pr-Code outdoor biding sets requirements may be varied such their a minit 20or in was with a minitious distribution of 4 metros and permanent roof cover, accessible from a fielding room and in a location to take setnedage of ottenment trouce petitions is to be provided;

- 7. Non-permeable lending or walls, groater from 900mm in height, our not permitted within the primary areast involvage, including any adjacent corner transations;
 0. Sold non-permeable involvage, is permitted on excounding steets therebyge end on the near boundary of each lot, including transary transations;
 0. Forndary on boundaries and eithirs reducts areas that are elevative from a street or reserve shall be constituted of entirelaks, obtains and fetables that complement.

STORAGE AND BIN STORAGE

- 10. Shorecoms, having a minimum floor zero of AniZ, a minimum horizontal disservice of 1.5 matres and a minimum colling height of 2.4 metrus, must be provided for every dwelling. Where a shorecom is 1.6 minimum provided access in some provided access in some provided access in some provided access. In common the provided access in some provided access.
- or garage;

 51. A bis pland with usobastivucind accress from the rear benevury on an impervious base having a minimum area of 2.25m2 and a minimum dimension of 1.5m shall be provided for each bit generally in the position as shown on the plant. Any gates to the bits stand are not to open cut into the own benevery.

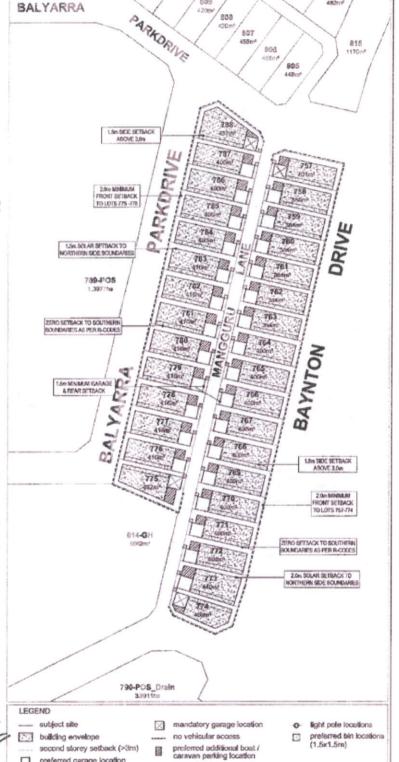
AIR CONDITIONING/SOLAR HOT WATER UNITS

Mark Druke

Solar hot water units must be integrated with seld match the roof profile and place of the dwelling!

COMPLIANCE

- Misor modifications to these Detailed Area Plan providing as they white to development on institution catage lots may be permitted, subject to approved from LandCorp and the Sale of Restourne;
 These provides a cance be a mended or repealed without the express written consect of the Sales of Roubscurne.



888

detailed area plan 'l'

LOTS: 757 - 774 BAYTON DRIVE 775 - 769 BALYARRA PARKDRIVE BAYNTON WEST - KARRATHA SHIRE OF ROBEOURNE

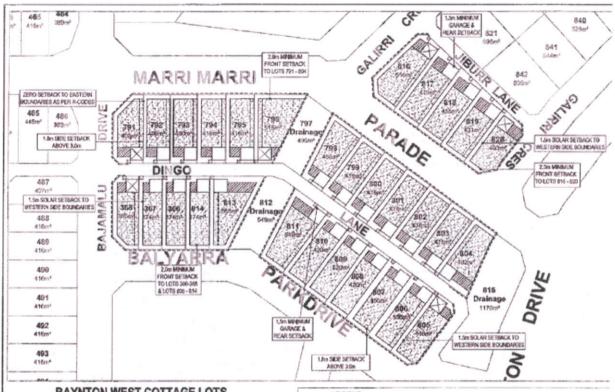


preferred garage location

SCALE 1: 1900 @ A3 DATE: 50.05.3009. LGP BAY SU 08-90s



APPENDIX 2 - DETAILED AREA PLANS



BAYNTON WEST COTTAGE LOTS DETAILED AREA PLAN (DAP)

The provisions of the Shins of Roebourne Town Flanning Schame (IPSS) and the Rosidonfel Design Codes of Worsen Austrolia (R-Codes) or the solution documents that may supersed in TPSS and or the R-Codes, shall apply select setwork varied between

DESIGN ELEMENTS

- The durality coding for all lots subject to this DAP is RNO;
 Che single hoves shall be permitted on each lot;
 Double garages or exports are mandatory on all lots and are to be lossed of in the peetlin obesigneted on the plan unless on elementarios location is superoved by LandScop and the Shibe of Roebourne;
 To encourage pestive surveillance, dendings shall be designed to address and overlook the permanentarion and second story devellings shall overfook pleasing and secondary elvers and neverous where applicables.

BETBACKS

- A minimum sight truncation of 1.5 coeless above a helight no greater than 0.75 metres shall be achieved on both sides of the opening to a jumpe or export.
 A 1.5 metre ada solar-breaze settlect applies to all buildings on extr. for export, for excluding event to a measurem depth of 0.8 welves and other enter projections as defined in the R-Codox:
 A 2 metre inferious front subjuct, excluding evens to a maximum depth of 0.8 metre and other minor projections as delined in the R-Codox:
 A minimum settlect of 1.5 metres from the metr boundary applies to all garages and carports on each lot:
 A minimum settlect of 3.0 resirves from the near boundary applies to all dwellings (residutes garages, carports and evens to a medimum depth of 0.8 metres) on each lot;

- cicl stone
- 18. A minimum side selected of 1.8m applies to all walls higher than 3.0 metres show Shistard Soor levels:

ACCESS

- A minimum sight truncation of 1,5 motives above a height no greater than 0.75 metros shall be editieved on both sides of the opining to a garage or carport.
 No access, other than for productions, which permitted within the frontage setbook of any lot, including any foreigns truncation;

- 6. The R-Code outdoor firing serie regularments may be varied such that a minimum 20m² area with a critinaum disnession of 4 cretors and perchannel roof ower, accessible from a fiviling room and in a location to take odvenings of summer brezze paterne is so be provided;

LEGEND

- subject site
- building envelope second storey setback (>3m)
- preferred garage location
- mandatory garage location

---- no vehicular access

- preferred additional boat / caravan parking location light pole locations
- preferred bin locations (1.5x1.5m)

- Nos-persoable ferroing or wells, greater than 900ers in height, one not presided within the primary should trortage, including any ediporary comer huncations:
 Solid rec-permeable ferroing is permitted as secondary street trortages and on the inter boundary of each lot, including laneauty transitions:
 Fracility on boundaries and willin cebook areas that one viewwide from a street or reserve shall be constructed of materials, colours and finishes that ownspianment the desting.

STORAGE AND BIN STORAGE

- 17. Storesome, having a minimum floor area of 4m2, a minimum heatscaled dissension of 1.5 metives and a materium eating neight of 2.4 motives, must be provided for every dwelling. Where a storeryces is tully histograted with the dwelling, sense or corport, the insersoon may be accessable from benicible to dwelling provided out to the outside of the dwelling, either directly or frequely a corport or garager.
 18. A bit allead with sensitivitied access from the new farmway on an importable base hereing a minimum area of 2.25m2 and a replanar directionside of 1.5m shall be provided for each for generally in the position as shown on the plan. Any gates to the bits shand are not to open out into the near lanceurg.

AR CONDITIONING/SOLAR HOT WATER UNIT'S

19. Solar bet water units roust be integrated with and match the roof profile and plich of the dwelling.

COMPLIANCE

- 20. Minor modifications to these Delpillod Arus Plan provisions as they relate to development on Individual total may be permitted, subject to approval from LandCorp and the Shibs of Rosebourne;
 21. These provisions cannot be amended or reposted without the express witton consent of the Ships of Rosebourne.

detailed area plan 'J'

LOTS: 386-388; 895-891; 393-894 BALYARRA PARADE

791-790; 788-804; 816-829 MARRI MARRI PARADE

BAYETON WEST - KAMPATIVA

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